

# 1107 MAIN STREET WEST URBAN DESIGN BRIEF

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**IN8** Developments

**srm** Architects



**BOUSFIELDS INC.**



# TABLE OF CONTENTS

## 1. BACKGROUND & EXISTING CONDITIONS

- 1.1. Background
- 1.2. Site Context
- 1.3. Policy Context

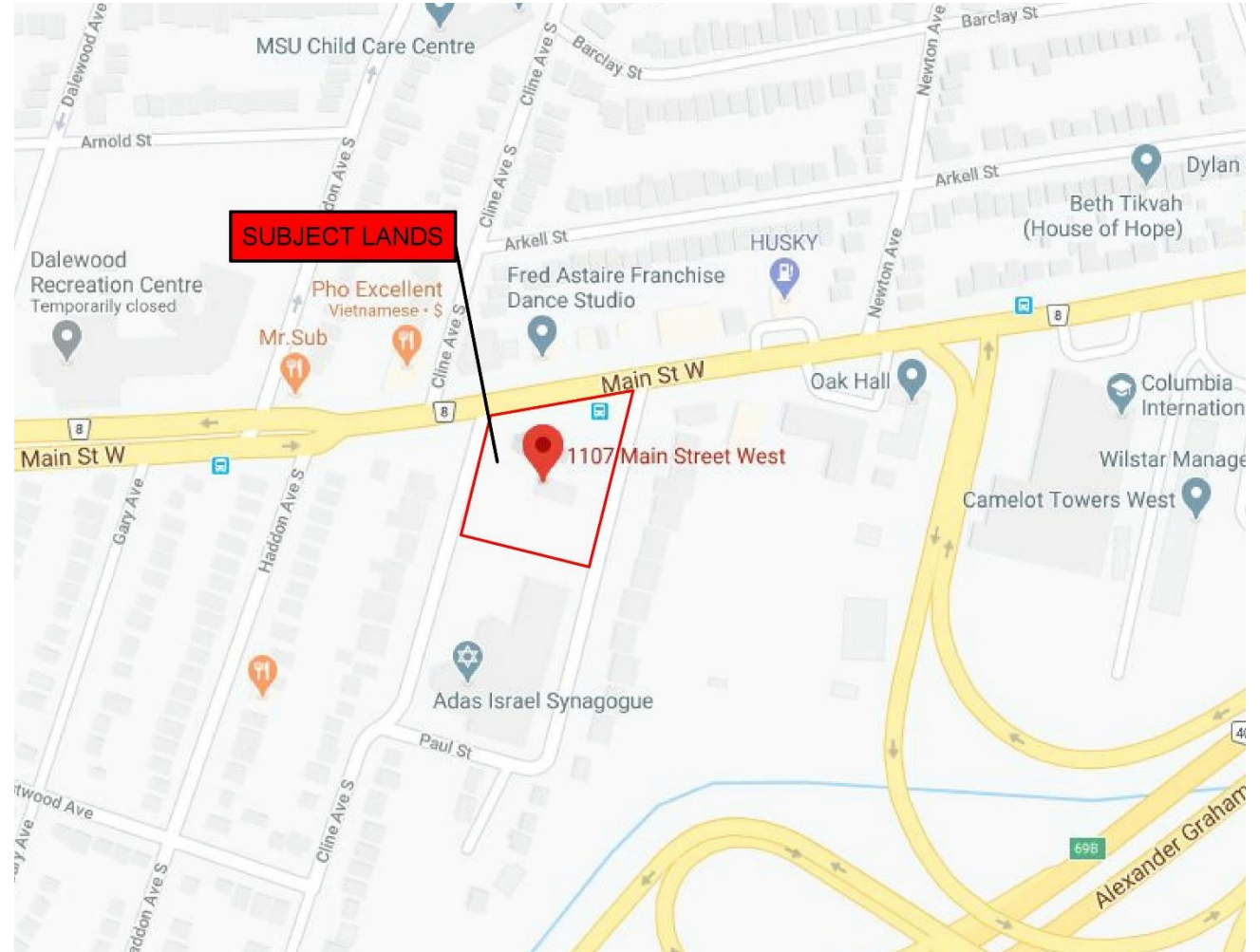
## 2. SITE DESIGN & CONTRIBUTIONS



# 1. BACKGROUND & EXISTING CONDITIONS

## 1.1 Background

SRM Architects Inc. has created the following Urban Design Brief for this proposed development at 1107 Main Street West, Hamilton (Subject Site). This report is intended to detail how the proposed development meets the general intent of the applicable urban design policies outlined in the Urban Hamilton Official Plan, Ainsley Wood Westdale Secondary Plan, and Urban Design Guidelines. This Urban Design Brief is meant to be read in conjunction with the other supporting information and reports prepared as part of the complete application, including the Planning and Urban Design Rationale, Shadow Impact Assessment, and Heritage Impact Assessment.



# 1. BACKGROUND & EXISTING CONDITIONS

## 1.2 Site Context

The subject site is located south of Main Street West, east of Cline Avenue South and west of Dow Avenue, known municipally as 1107 Main Street North. The subject site has an overall area of 5,169.3 square metres (1.27 acre) with frontages of approximately 66 metres (216.5 feet) along Main Street West, 60.3 metres (197.8 feet) along Cline Avenue South and 87 metres (285 feet) along Dow Avenue. The average depth of the subject site, measured from Main Street to the south property line, is approximately 73.8 metres.

The subject site is currently occupied by a place of worship, Grace Evangelical Lutheran Church containing a one-storey main building, built in 1959 as well as a one-storey addition to the south which was built in 1970. The subject site is located at the north edge of the Ainslie Wood East neighbourhood, an area generally bounded by Main Street to the north, Provincial Highway 403 to the South, Leland Street to the west, and Highway 403 ramp to the east. The Ainslie Wood East neighbourhood consists of a range and mix of uses with the predominant character being residential uses in the form of 1 and 2-storey detached dwellings with some high-rise residential buildings in the range of 12 to 15-storeys along Main Street West. In addition to the residential character of the neighbourhood, there are retail, restaurant, personal service, commercial and institutional uses along Main Street West.

# 1. BACKGROUND & EXISTING CONDITIONS

## 1.3 Policy Context

The site and building design requirements are outlined in the Zoning By-law, Ainsley Wood Westdale Secondary Plan and Urban Design Guidelines

The mixed-use proposal is consistent with the Provincial Policy Statement (2020) and conforms to A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2019, as amended), and also meets the intent of the majority of policies in the Urban Hamilton Official Plan (UHOP) and Ainslie Wood Westdale Secondary Plan, all of which promote and encourage intensification within built-up urban areas.

In our opinion, the proposed development requires amendments to the UHOP, Ainsley Wood Westdale Secondary Plan and City of Hamilton Zoning By-law 05-200 in order to increase the permitted height and density and to seek relief from other site-specific performance standards as necessary to accommodate the proposal.

The proposed height, massing and density are based on a number of contextual and urban design considerations, including:

- The site's location along Main Street West, a Primary Corridor identified in the UHOP;
- Proximity to existing and planned transit services;
- The right-of-way width of Main Street West;
- Separation distance from, and transition to, properties designated Neighbourhoods (through the stepping of heights); and,
- Size and depth of the site.





# 1. BACKGROUND & EXISTING CONDITIONS

## 1.3 Policy Context

The proposed height, massing and density conform with the recently updated planning framework that envisions a mid-rise form along Main Street West. In this regard, the mid-rise form establishes a scale of up to 8-storeys (Policy E.4.6.8) along the Primary Corridor and suggests that additional height, beyond 8-storeys, would require an official plan amendment on a site by site basis. The criteria for additional height are established in Policy E.4.6.8 and includes the development to demonstrate:

- a. there are no adverse shadow impacts created on existing residential uses within adjacent lands designated Neighbourhoods.**

A full analysis on the built form impacts of shadow impacts at key times throughout the year can be seen in the proved shadow studies, and outlines that the proposal does not create any adverse shadow impacts on the adjacent residential lands.



# 1. BACKGROUND & EXISTING CONDITIONS

## 1.3 Policy Context

**b. buildings are progressively stepped back from adjacent areas designated Neighbourhoods.**

The Zoning by-law may include an angular plane requirement to set out an appropriate transition and stepping back of heights; and, The proposal includes massing steps back and transition from its 15-storey portion at Main Street West to its 10 and 8-storey at the rear as well as stepping down to the side streets. Two-storey townhouses are incorporated along the site's Dow Avenue and Cline Avenue South frontages. This massing responds with an appropriate built form with grade related residential uses that properly interface with the low rise single detached dwellings on the east side of Dow Avenue and west side of Cline Avenue South. Step backs are provided from the third level to the middle portions (levels 3-4) and upper portions (8-10) of the building at approximately 2.0 metres and 6.9 metres respectively.

The proposed massing does not include any projection into the angular plane measured from the 80% of the width of Main Street. However, the proposed massing includes some projections into the angular planes measured along Cline Avenue and Dow Avenue; however, it is our opinion that the proposal provides an appropriate massing and does not create any adverse built form impacts, ultimately addressing the evaluation criteria contained in this policy.





# 1. BACKGROUND & EXISTING CONDITIONS

## 1.3 Policy Context

**c. buildings are stepped back from the street to minimize the height appearance from the street, where necessary.**

The proposed built form appropriately responds to each of its street frontages. In this regard, 2-storey townhouses are formed in the base of the building along Dow Avenue and Cline Avenue South to respond to the existing single detached and low-rise buildings opposite the streets. Upper portions of both the east and west wings are stepped back from these streets in order to maintain the low-rise and grade-related character at the ground plane. Along Main Street West, the 15-storey portion steps back at the first floor, while no step backs are provided for the 8-storey portion at the northeast end of the building. This configuration along Main Street breaks up the building's massing and reinforces the pedestrian scale. The planned right-of-way width for Main Street West, being a major arterial road, is 45.72 metres. In our opinion, bringing the 8-storey portion of the built form to the street line and stepping back the 15-storey portion above the first floor, respond appropriately to the width of Main Street West and achieves the Primary Corridor built form goals of creating pedestrian oriented places that are well enclosed with a well formed street wall.





# 1. BACKGROUND & EXISTING CONDITIONS

## 1.3 Policy Context

It is our opinion that the height of the proposed building is a contextually appropriate location for the proposed massing, given its location along a Primary Corridor and in close proximity to Major Activity Centres with good access to higher order public transit, as well as its proximity to other existing and approved mid-rise and tall buildings.

From a broader urban structure perspective, the Primary Corridor are intensification areas where taller buildings already exist and are planned. The proposed height of 15 storeys and 45.0 metres, plus the mechanical penthouse, will fit harmoniously within the range of heights in the surrounding area. In this regard, we have reviewed the segment of Main Street West from Longwood Road to Cootes Drive Existing tall buildings of up to 14-storeys exist on the McMaster Campus node, which are at the same height of the subject proposal. As well, there are proposed tall buildings along Main Street West at 925 Main Street West (16 and 18 storeys) and 1190 Main Street West (15, 10, 8, 2 storeys).



## 2. SITE DESIGN AND CONTRIBUTIONS

The proposed development of the subject site includes the demolition of the existing Grace Lutheran Church and rectory buildings and the development of a new 15-storey mixed-use building with 615.2 square metres of commercial space at grade along Main Street West and total of 327 dwelling units, including 7 grade related townhouse units in the building's base fronting Dow Avenue and Cline Avenue South. The building is oriented to the three abutting streets and creates a large central courtyard.

the Grace Lutheran Church is in the City of Hamilton's "Inventory of Buildings of Architectural and/or Historical Interest". The Grace Lutheran Church, as a place of worship, is also included on the "Inventory of Significant Places of Worship" in the City of Hamilton. The subject site is adjacent to Adas Israel Synagogue (125 Cline Avenue South) which is also an "Inventoried Property". The CHIA recommends that the entire, main entry elevation, currently facing west, be disassembled, palletted and stored off-site until construction of the new development is at a stage that it could be re-assembled as part of the entry experience of the new building's north-west corner. The repurposing of the entry elevation provides the opportunity to orient this element to Main Street West. The report also recommends reusing the entry elevation windows and exterior stone base, cut limestone, accents and carved corner stone as a sitting wall/landscape feature within the proposed courtyard.





## 2. SITE DESIGN AND CONTRIBUTIONS

With respect to the built form, the proposed building provides a tall (15-storey) mid-rise form along Main Street West, which sits on a tall (6 metre) 1-storey base. This frontage is further refined at the northeast corner of the site, where the building steps back above the eighth floor to break up the massing along the Main Street frontage. Along the eastern (Dow Avenue) and western edge (Cline Avenue) of the building two 10-storey wings extend southward from the Main Street West massing, providing 16.0 metres separation distance between each wing to allow for flexibility in locating residential units internally and create central outdoor amenity courtyard. The two wings step down at the rear (toward the Adas Israel Synagogue and Hamilton Hebrew Academy) and sides along the local streets.

The proposal includes massing steps back and transition from its 15-storey portion at Main Street West to its 10 and 8-storey at the rear as well as stepping down to the side streets. Two-storey townhouses are incorporated along the site's Dow Avenue and Cline Avenue South frontages. This massing responds with an appropriate built form with grade related residential uses that properly interface with the low rise single detached dwellings on the east side of Dow Avenue and west side of Cline Avenue South. Step backs are provided from the third level to the middle portions (levels 3-4) and upper portions (8-10) of the building at approximately 2.0 metres and 6.9 metres respectively.





## 2. SITE DESIGN AND CONTRIBUTIONS

There will be total of 199 residential parking spaces and 9 barrier free parking spaces. The parking spaces are located in three levels of underground parking. Vehicular access to the underground parking is provided from Cline Avenue South, while the internal loading space is accessed from a driveway on Dow Avenue. A total of 174 bicycle parking spaces are provided, 169 are proposed for residents and 5 short term spaces proposed for the commercial use.

